

**PLAN REFERENCES:**

- "PLAN OF SHORE LOTS; FOR: W.M. BISSON"  
BY: L.K. PERLEY  
DATED: AUGUST 23, 1931  
B.C.R.D. PLAN #FBI-34 & 35
- "LEW PERLEY FIELDBOOK DATA"  
BY: L.K. PERLEY  
ON FILE AT NH STATE ARCHIVES
- "RIGHT-OF-WAY AND TRACK MAP; THE CONCORD & MONTREAL R.R."  
BY: OFFICE OF VALUATION ENGINEERS  
DATED: JUNE 30, 1914  
V.21-66  
ON FILE WITH NHDOT AND THIS OFFICE
- "PLAN OF PAUGUS PARK SHORE LOTS EXTENSION; FOR: W.M. BISSON"  
BY: UNKNOWN (ASSUMED TO BE PERLEY)  
DATED: AUGUST 11, 1944  
B.C.R.D. PLAN #FBI8, PAGE 1370
- "FOUNDATION LOCATION PLAN; LOCATED ON; 128 PAUGUS PARK ROAD, LACONIA"  
BY: DMC SURVEYORS  
DATED: DECEMBER 13, 2008  
ON FILE AT THE CITY OF LACONIA
- "BOUNDARY PLAN; LAND OF: MARIE C. MCKAY REVOCABLE TRUST; 122 PAUGUS PARK ROAD; LACONIA, N.H.; TAX MAP 287, BLOCK 178, LOT 7"  
BY: BERRY SURVEYING & ENGINEERING  
DATED: FEBRUARY 5, 2025  
FILE #DB2024-143

**SECTION AREAS:**

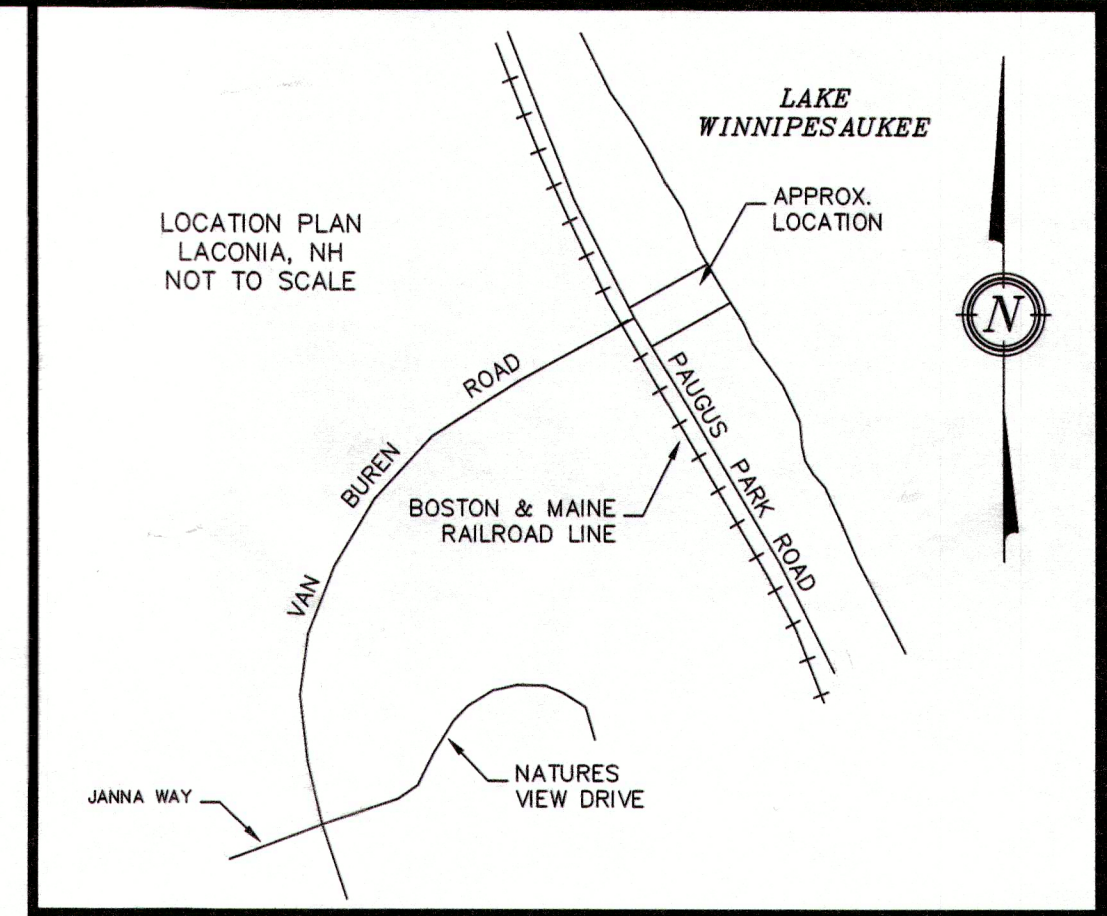
|   |  |
|---|--|
| REFERENCE LINE TO 50'<br>50' TO 150'<br>150' TO PROPERTY LINE | 3,205 Sq.Ft.<br>6,201 Sq.Ft.<br>1,468 Sq.Ft. |
| TOTAL AREA WITHIN 250'<br>REFERENCE LINE:                     | 10,904 Sq.Ft.                                |
| TOTAL LOT AREA:   | 10,904 Sq.Ft.                                |

**EXISTING IMPERVIOUS CALCULATIONS:**

|                              |               |
|------------------------------|---------------|
| TOTAL LOT AREA WITHIN 250'   | 10,904 Sq.Ft. |
| EXISTING IMPERVIOUS:         |               |
| HOUSE, OVERHANGS & DECKS     | 1,472 Sq.Ft.  |
| DRIVEWAY                     | 1,629 Sq.Ft.  |
| WOODEN DOCK                  | 123 Sq. Ft.   |
| STONE STEPS                  | 25 Sq.Ft.     |
| SHED                         | 7 Sq.Ft.      |
| TOTAL EXISTING IMPERVIOUS:   | 3,256 Sq.Ft.  |
| TOTAL EXISTING % IMPERVIOUS: | 29.86 %       |
| TOTAL EXISTING UN-ALTERED:   | 0 Sq.Ft.      |
| TOTAL EXISTING % UN-ALTERED: | 0.00 %        |

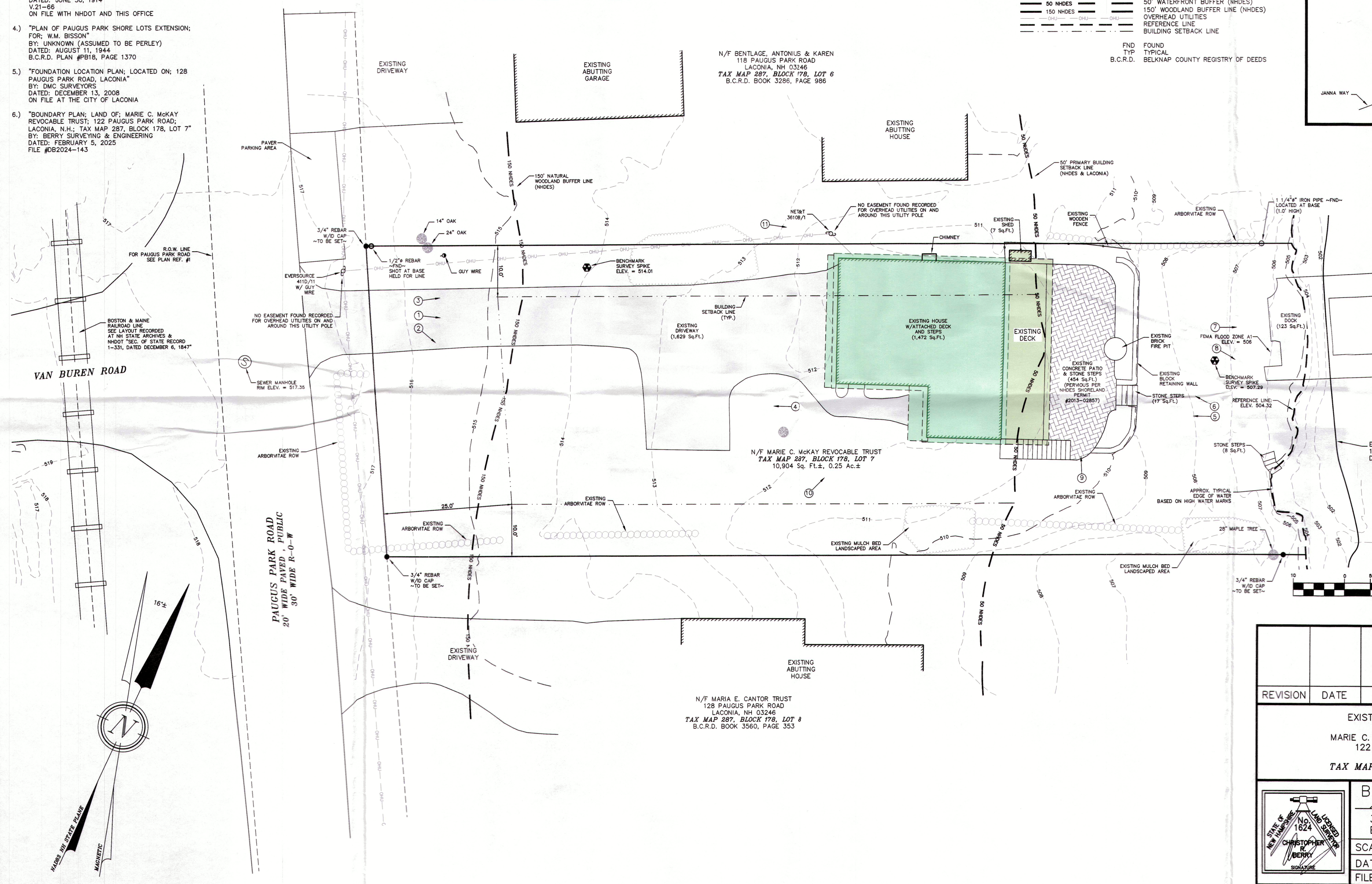
**LEGEND:**

- IRON PIPE ~FND~
- REBAR ~FND~
- UTILITY POLE
- PHOTO POINT
- PROPERTY LINE
- BENCHMARK
- TREES
- 50' NHDES
- 150' NHDES
- 50' WATERFRONT BUFFER (NHDES)
- 150' WOODLAND BUFFER LINE (NHDES)
- OVERHEAD UTILITIES
- REFERENCE LINE
- BUILDING SETBACK LINE
- FND TYP FOUND TYPICAL
- B.C.R.D. BELKNAP COUNTY REGISTRY OF DEEDS



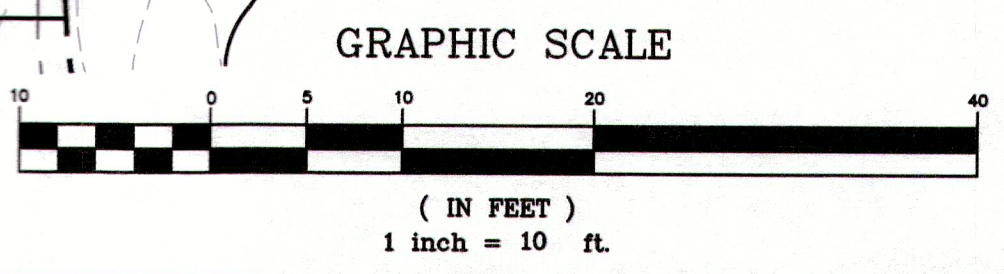
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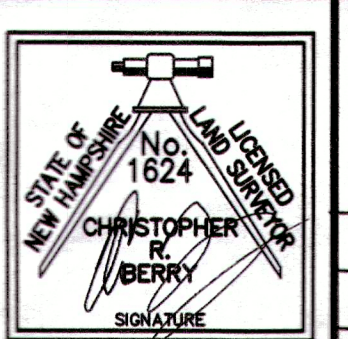
- OWNER: MARIE C. MCKAY REVOCABLE TRUST  
15 BACK ROAD  
CHICHESTER, NH 03258
- LOT OF RECORD: TAX MAP 287, BLOCK 178, LOT 7
- LOT AREA: 10,904 Sq. Ft. ±, 0.25 Ac. ±
- B.C.R.D.: BOOK 2818, PAGE 966
- ZONING: RS W/SHORELAND PROTECTION OVERLAY  
FRONT SETBACK: 25.0'  
SIDE SETBACK: 10.0'  
REAR SETBACK: 15.0'  
LAKE SETBACK: 50.0'  
MAX. STRUCTURE HEIGHT: 35.0'  
MINIMUM GREEN AREA REQUIRED: 60% PER RS ZONE  
MINIMUM GREEN AREA REQUIRED: 70% PER SHORELAND OVERLAY
- I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, A PORTION OF THIS PARCEL DOES FALL WITHIN THE FLOOD PLAN FLOOD HAZARD REF: FEMA, COMMUNITY# -330005, MAP# - 33000500048, DATED: AUGUST 15, 1980. ZONE A1, ELEV. - 506
- VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING CARLSON BR77 SURVEY GRADE GPS RECEIVERS
- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 287, BLOCK 178, LOT 7 AS OF THE DATE OF THE FIELD SURVEY ON DECEMBER 18, 2024.



LAKE WINNIPESAUKEE  
"PAUGUS BAY"  
"LAKE PAUGUS"

EXISTING EDGE OF WATER  
12-2024  
DRAWN DOWN CONDITION



| REVISION   | DATE | DESCRIPTION   |
|--|------|---|
|  |      | EXISTING CONDITIONS PLAN<br>LAND OF<br>MARIE C. MCKAY REVOCABLE TRUST<br>122 PAUGUS PARK ROAD<br>LACONIA, N.H.<br>TAX MAP 287, BLOCK 178, LOT 7 |
|  <b>BERRY SURVEYING &amp; ENGINEERING</b><br>335 SECOND CROWN POINT RD.<br>BARRINGTON, N.H. (603)332-2863 |      |   |
| SCALE : 1 IN. EQUALS 10 FT.  |      |   |
| DATE : SEPTEMBER 11, 2025  |      |   |
| FILE NO. : DB 2024 - 143   |      |   |



**PLAN REFERENCES:**

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B.C.R.D. PLAN #B18, PAGE 1370
- "FOUNDATION LOCATION PLAN; LOCATED ON: 128 PAUGUS PARK ROAD, LACONIA"  
BY: DMC SURVEYORS  
DATED: DECEMBER 13, 2008  
ON FILE AT THE CITY OF LACONIA
- "BOUNDARY PLAN; LAND OF: MARIE C. MCKAY REVOCABLE TRUST; 122 PAUGUS PARK ROAD, LACONIA, N.H.; TAX MAP 287, BLOCK 178, LOT 7"  
BY: BERRY SURVEYING & ENGINEERING  
DATED: FEBRUARY 5, 2025  
FILE #DB2024-143

**SECTION AREAS:**

|   |               |
|---|---------------|
| REFERENCE LINE TO 50' 50' TO 150'         | 3,205 Sq.Ft.  |
| 150' TO PROPERTY LINE                     | 6,201 Sq.Ft.  |
| TOTAL AREA WITHIN 250' OF REFERENCE LINE: | 10,904 Sq.Ft. |
| TOTAL LOT AREA:                           | 10,904 Sq.Ft. |

**EXISTING IMPERVIOUS CALCULATIONS:**

|                              |               |
|------------------------------|---------------|
| TOTAL LOT AREA WITHIN 250'   | 10,904 Sq.Ft. |
| EXISTING IMPERVIOUS:         |               |
| HOUSE, OVERHANGS & DECKS     | 1,472 Sq.Ft.  |
| DRIVEWAY                     | 1,629 Sq.Ft.  |
| WOODEN DOCK                  | 123 Sq.Ft.    |
| STONE STEPS                  | 25 Sq.Ft.     |
| SHED                         | 7 Sq.Ft.      |
| TOTAL EXISTING IMPERVIOUS:   | 3,256 Sq.Ft.  |
| TOTAL EXISTING % IMPERVIOUS: | 29.86 %       |
| TOTAL EXISTING UN-ALTERED:   | 0 Sq.Ft.      |
| TOTAL EXISTING % UN-ALTERED: | 0.00 %        |

**PROPOSED IMPERVIOUS CALCULATIONS:**

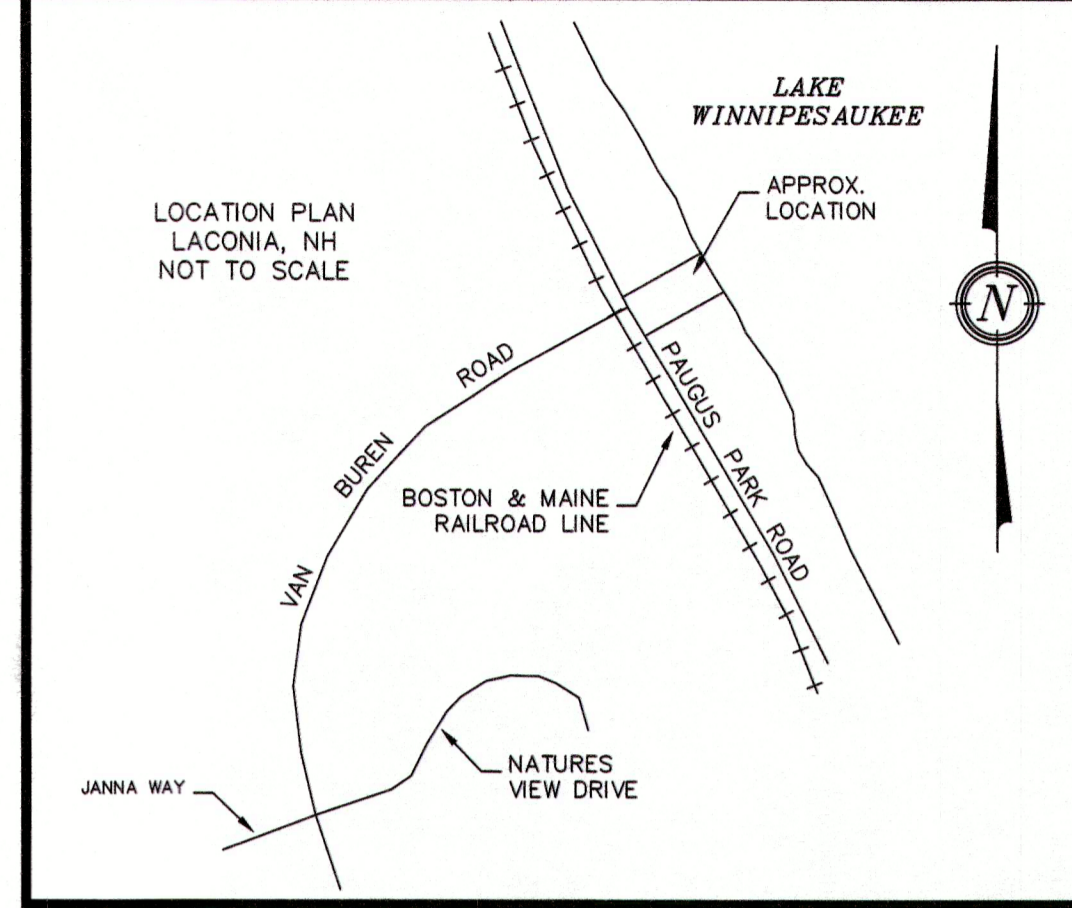
|                              |               |
|------------------------------|---------------|
| TOTAL LOT AREA WITHIN 250'   | 10,904 Sq.Ft. |
| PROPOSED IMPERVIOUS:         |               |
| HOUSE, OVERHANGS & DECKS     | 2,738 Sq.Ft.  |
| DRIVEWAY                     | 0 Sq.Ft.      |
| WOODEN DOCK                  | 123 Sq.Ft.    |
| STONE STEPS                  | 25 Sq.Ft.     |
| SHED                         | 7 Sq.Ft.      |
| TOTAL EXISTING IMPERVIOUS:   | 2,893 Sq.Ft.  |
| TOTAL EXISTING % IMPERVIOUS: | 26.53 %       |
| TOTAL EXISTING UN-ALTERED:   | 0 Sq.Ft.      |
| TOTAL EXISTING % UN-ALTERED: | 0.00 %        |

**LACONIA GREEN SPACE CALCULATIONS:**

|                               |               |          |
|-------------------------------|---------------|----------|
| TOTAL LOT AREA WITHIN 250'    | 10,904 Sq.Ft. |          |
| REQUIRED GREEN SPACE:         | 7,633 Sq.Ft.  | (70.00%) |
| EXISTING CONDITIONS PROVIDED: | 7,127 Sq.Ft.  | (65.36%) |
| PROPOSED CONDITIONS PROVIDED: | 6,199 Sq.Ft.  | (56.85%) |

**LEGEND:**

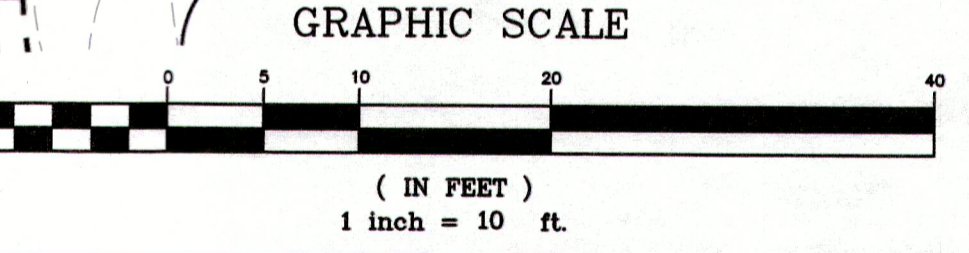
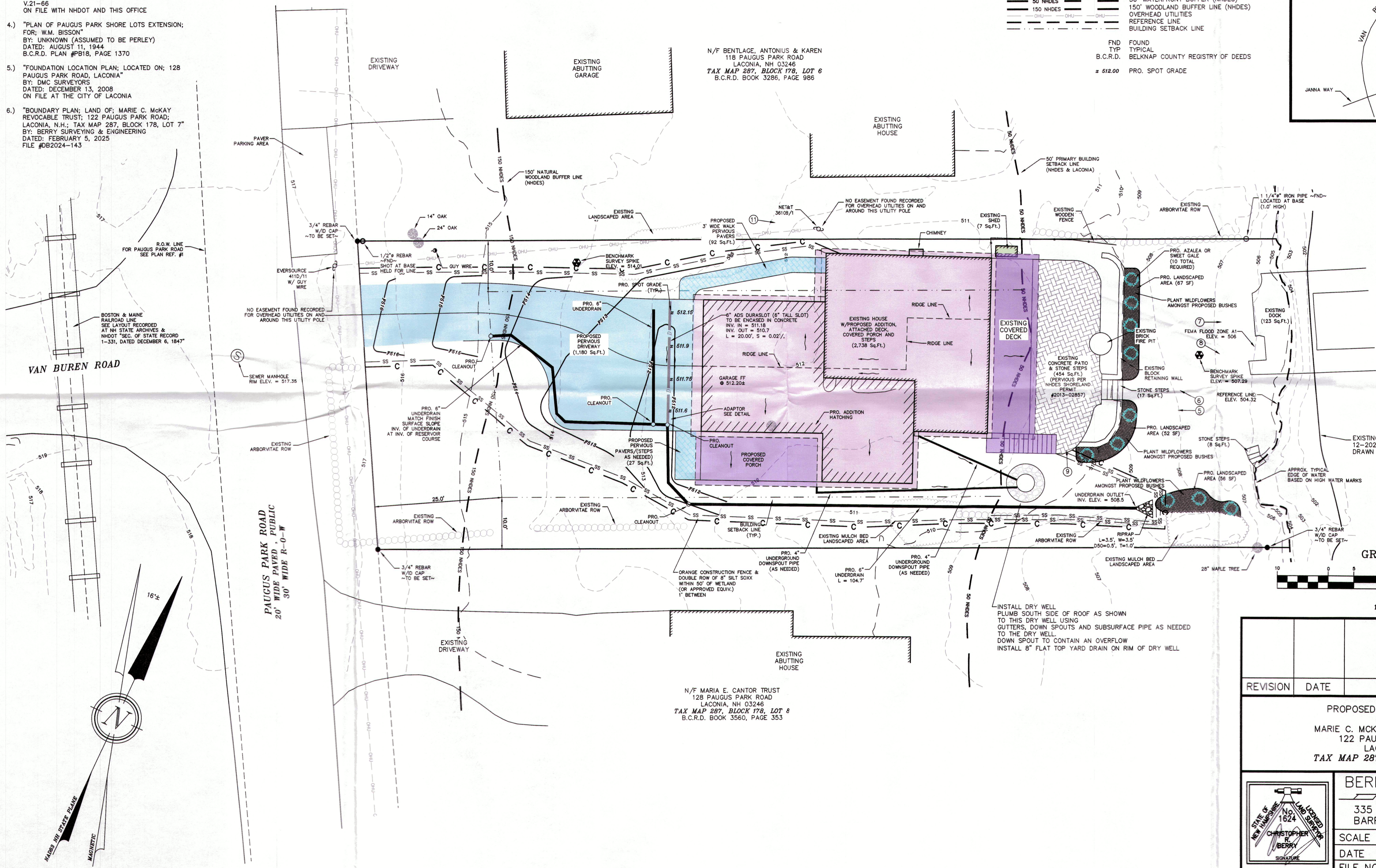
- IRON PIPE ~FND~
- REBAR ~FND~
- UTILITY POLE
- PHOTO POINT
- PROPERTY LINE
- BENCHMARK
- TREES
- 50' WATERFRONT BUFFER LINE (NHDES)
- 150' WOODLAND BUFFER LINE (NHDES)
- OVERHEAD UTILITIES
- REFERENCE LINE
- BUILDING SETBACK LINE
- FND TYPICAL
- B.C.R.D. BELKNAP COUNTY REGISTRY OF DEEDS
- PRO. SPOT GRADE



**NOTES:**

- OWNER: MARIE C. MCKAY REVOCABLE TRUST  
15 BACK ROAD  
CHESTER, NH 03258
- LOT OF RECORD: TAX MAP 287, BLOCK 178, LOT 7
- LOT AREA: 10,904 Sq. Ft., 0.25 Ac.±
- B.C.R.D.: BOOK 2818, PAGE 966
- ZONING: RS W/SHORELAND PROTECTION OVERLAY  
FRONT SETBACK: 25.0'  
SIDE SETBACK: 10.0'  
REAR SETBACK: 15.0'  
LAKE SETBACK: 50.0'  
MAX. STRUCTURE HEIGHT: 35.0'  
MINIMUM GREEN AREA REQUIRED: 60% PER RS ZONE  
MINIMUM GREEN AREA REQUIRED: 70% PER SHORELAND OVERLAY
- I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, A PORTION OF THIS PARCEL DOES FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF: FEMA, COMMUNITY# -330005, MAP# -3300050048, DATED: AUGUST 15, 1980. ZONE A1, ELEV. - 506
- VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING CARLSON BRX7 SURVEY GRADE GPS RECEIVERS.
- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 287, BLOCK 178, LOT 7 AS OF THE DATE OF THE FIELD SURVEY ON DECEMBER 18, 2024.
- THIS PLAN PROPOSES 4,742 Sq.Ft. OF DISTURBANCE WITHIN THE SHORELAND ZONE. THE AREA OF THE EXISTING HOUSE WHICH WILL REMAIN UNCHANGED IS NOT CALCULATED IN THIS NUMBER.

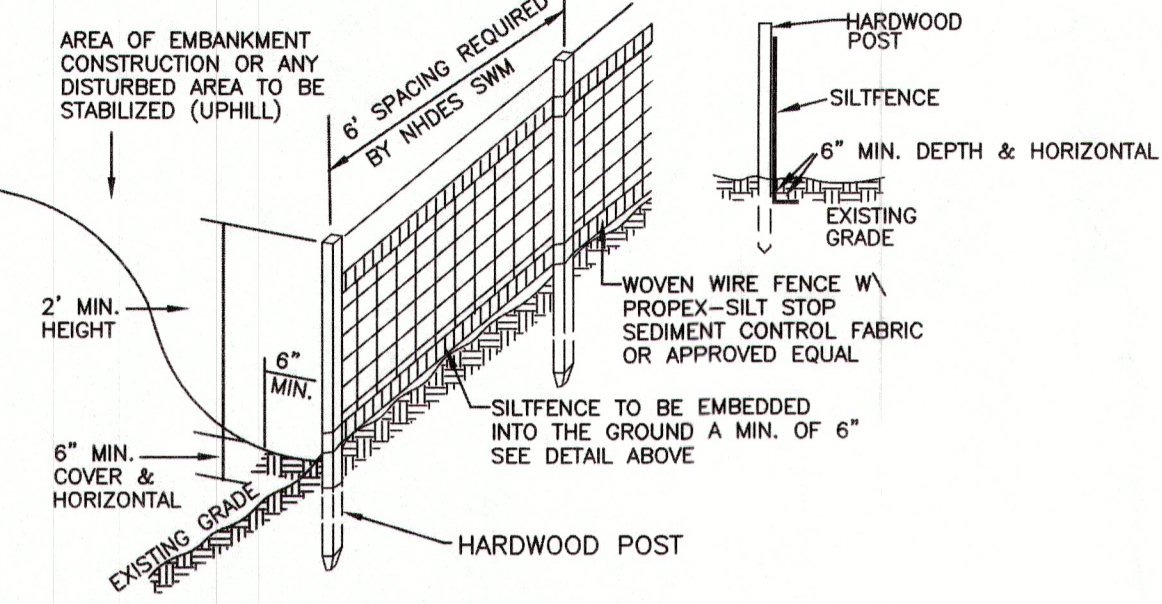
**LAKE WINNIPESAUKEE "PAUGUS BAY" "LAKE PAUGUS"**



| REVISION  | DATE | DESCRIPTION |
|---|------|-------------|
| PROPOSED CONDITIONS PLAN<br>LAND OF<br>MARIE C. MCKAY REVOCABLE TRUST<br>122 PAUGUS PARK ROAD<br>LACONIA, N.H.<br>TAX MAP 287, BLOCK 178, LOT 7 |      |             |
| BERRY SURVEYING & ENGINEERING<br>335 SECOND CROWN POINT RD.<br>BARRINGTON, N.H. (603)332-2863   |      |             |
| SCALE : 1 IN. EQUALS 10 FT.   |      |             |
| DATE : SEPTEMBER 11, 2025   |      |             |
| FILE NO. : DB 2024 - 143  |      |             |



E1



SILT FENCE CONSTRUCTION SPECIFICATIONS

- 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP MID AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 8" THE FENCE POSTS SHALL BE A MINIMUM 48" LONG, SPACED A MAXIMUM 6' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND PROPERLY DISPOSED OF. SEE MAINTENANCE NOTE BELOW, REMOVAL OF SEDIMENT REQUIRED AT A DEPTH OF 6-INCHES.
4. PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
5. SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER.
6. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND RE-VEGETATED.
7. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, SILT FENCE, PAGE 90.

SILT FENCE MAINTENANCE

- 1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH SIX-INCHES IN DEPTH.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT FENCE DETAIL NOT TO SCALE

E6

STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE

- 1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR TO FEET, WHICH EVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
8. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY CONSTRUCTION EXIT, PAGE 124.

TEMPORARY EROSION CONTROL MEASURES

- 1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
3. ALL DISTURBED AREAS SHALL BE RETURNED TO ORIGINAL GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 4" OF LOAM AND SEEDED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. (SEE SEED SPECIFICATIONS THIS SHEET)
4. ALL DISTURBED AREAS WILL BE RESTABILIZED WITHIN 45 DAYS. AT ANY ONE TIME, NO MORE THAN THE AREAS SHOWN WILL BE OPEN AT ANY ONE TIME.
5. SILT FENCES AND PERIMETER BARRIERS SHALL BE INSPECTED PERIODICALLY AND AFTER EVERY RAIN DURING THE LIFE OF THE PROJECT. ALL DAMAGED AREAS SHALL BE REPAIRED, SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
6. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
7. PER THE EPA COP REQUIREMENTS THERE WILL BE REPORTS OF THE EROSION CONTROL INSPECTIONS IAW SWPPP PREPARED BY BS&E. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25" OR GREATER RAIN EVENT.
8. DITCHES, SWALES, AND BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
9. DO NOT TRAFFIC EXPOSED SOIL SURFACES WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
10. ROADWAYS, DRIVEWAYS AND CUT AND FILL SLOPES MUST BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINAL GRADE.
11. STABILIZATION MEANS:
11.1. A MINIMUM OF 85% OF VEGETATIVE COVER HAS BEEN ESTABLISHED.
11.2. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED, OR
11.3. EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
12. THIS PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
13. THE NHDES STORMWATER MANUAL, IN THREE VOLUMES, DATED DECEMBER 2008, IS A PART OF THIS PLAN SET AND THE MORE RESTRICTIVE WILL GOVERN. (NH SWM)

E2

WINTER STABILIZATION NOTES

- 1.) ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR'S CURLEX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
2.) ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.
3.) PRIOR TO OCT. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
4.) AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEED BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.

DEFINITION OF STABLE

PER ENV-WQ 1500 ALTERATION OF TERRAIN

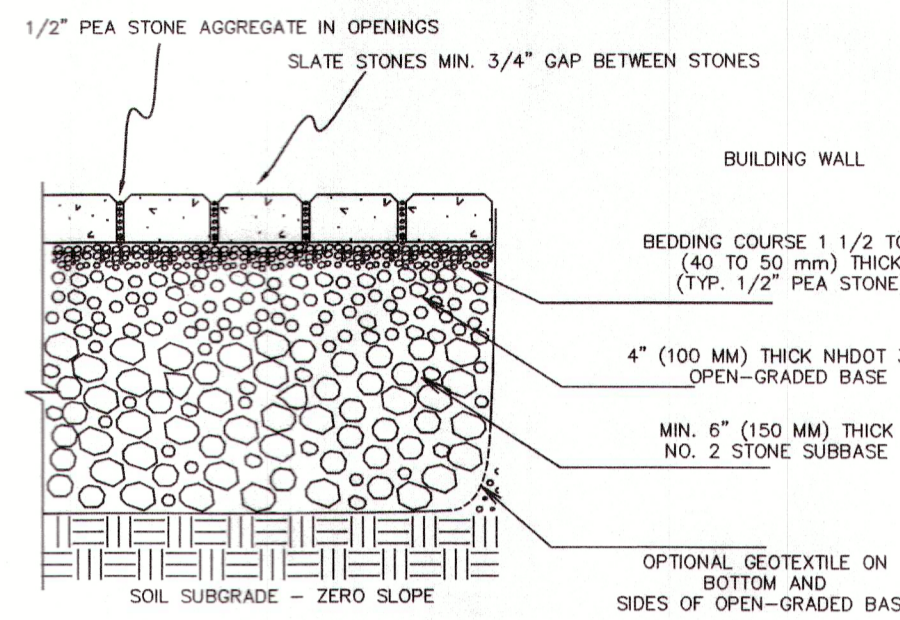
- 1.) BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
2.) A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
3.) A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
4.) OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ADDITION STABILIZATION NOTES:

- 5.) HAY MULCH OR OTHER APPROVED METHODS SHALL BE USED TO CONTROL EROSION OF NEWLY GRADED AREAS. ALL CUT AND FILL SLOPES SHALL BE SEED AND MULCHED WITHIN 72 HOURS AFTER THEIR CONSTRUCTION.
6.) DISTURBED SOIL AREAS SHALL BE EITHER TEMPORARILY OR PERMANENTLY STABILIZED. IN AREAS WHERE FINAL GRADING HAS NOT OCCURRED, TEMPORARY STABILIZATION MEASURES SHOULD BE IN PLACE WITHIN SEVEN (5) CALENDAR DAYS FOR EXPOSED SOIL AREAS THAT ARE WITHIN ONE HUNDRED (100) FEET OF A SURFACE WATER BODY OR A WETLAND AND NO MORE THAN 14 CALENDAR DAYS FOR ALL OTHER AREAS. PERMANENT STABILIZATION SHOULD BE IN PLACE WITHIN THREE (3) CALENDAR DAYS FOLLOWING COMPLETION OF FINAL GRADING OF EXPOSED SOIL AREAS.

E3

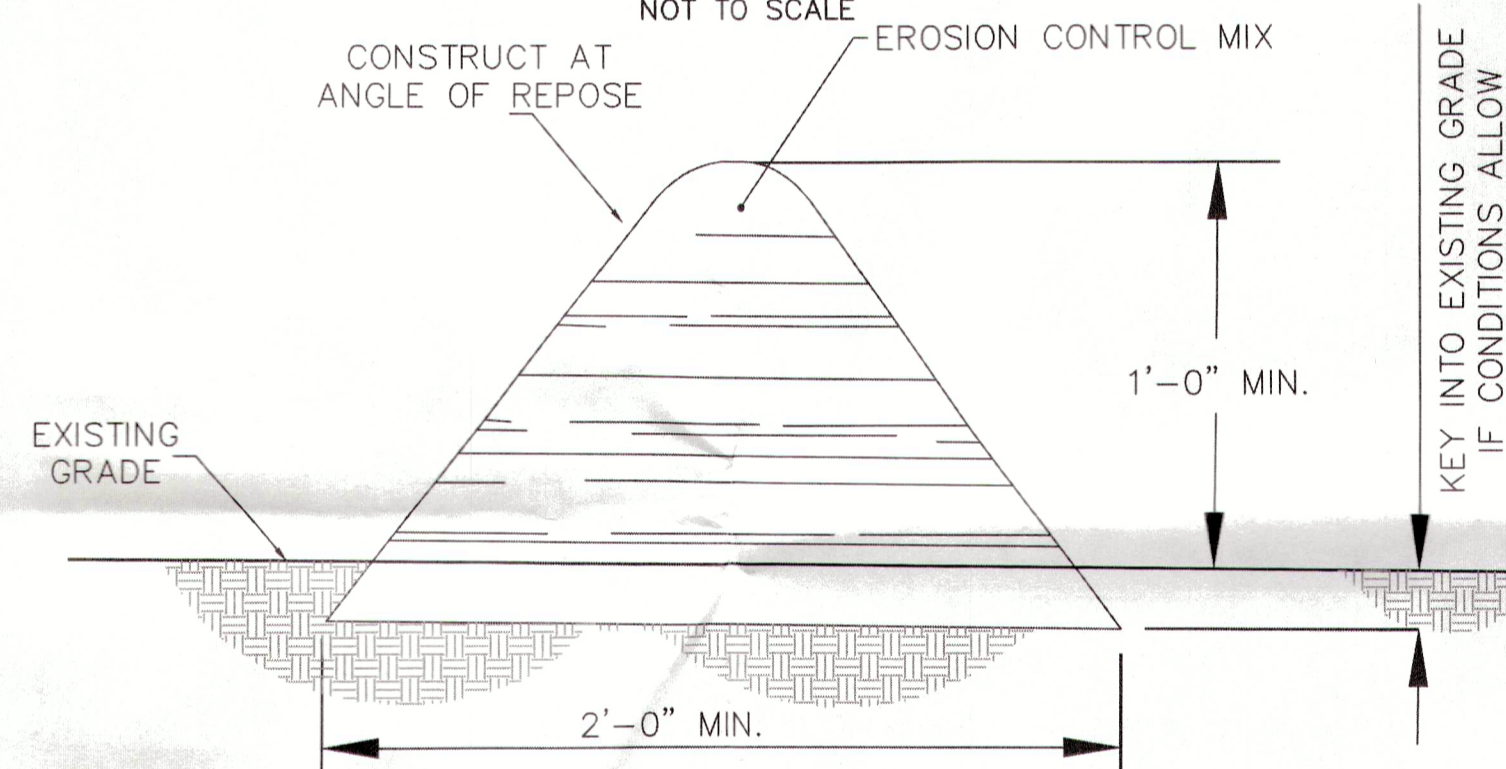
PERVIOUS WALKWAY DETAIL



E4

E7

EROSION CONTROL MIX BERM NOT TO SCALE



- EROSION CONTROL MIX BERMS SHALL BE USED ONLY AS FOLLOWS:
1. BERMS SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR DRAINAGE WAY ABOVE THE BERM.
2. THE BERMS SHALL BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE.
3. THE BERMS SHALL BE INSTALLED ON SLOPES LESS THAN 5%.
4. SUBJECT TO (E), BELOW, THE MIX SHALL HAVE AN ORGANIC PORTION BETWEEN 80 AND 100% DRY WEIGHT BASIS, AND BE FIBROUS AND ELONGATED SUCH AS FROM SHREDED BARK, STUMP GRINDINGS, COMPOSED BARK, OR EQUIVALENT MANUFACTURED PRODUCTS. WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS, OR REPROCESSED WOOD PRODUCTS SHALL NOT BE USED AS ORGANIC MATERIAL.
5. THE MIX SHALL NOT CONTAIN SILTS, CLAY, OR FINE SANDS.
6. THE MIX SHALL HAVE A PARTICLE SIZE BY WEIGHT OF 70 TO 85% PASSING A 6-INCH SCREEN AND A MAXIMUM OF 85% PASSING THE 0.75-INCH SCREEN.
7. THE MIX PH SHALL BE BETWEEN 5.0 AND 8.0.
8. THE BERM SHALL BE AT LEAST 12 INCHES HIGH AND AT LEAST 2 FEET WIDE.
9. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, EROSION CONTROL MIX BERMS, PAGE 106.

E10

DRYWELL DETAIL NOT TO SCALE

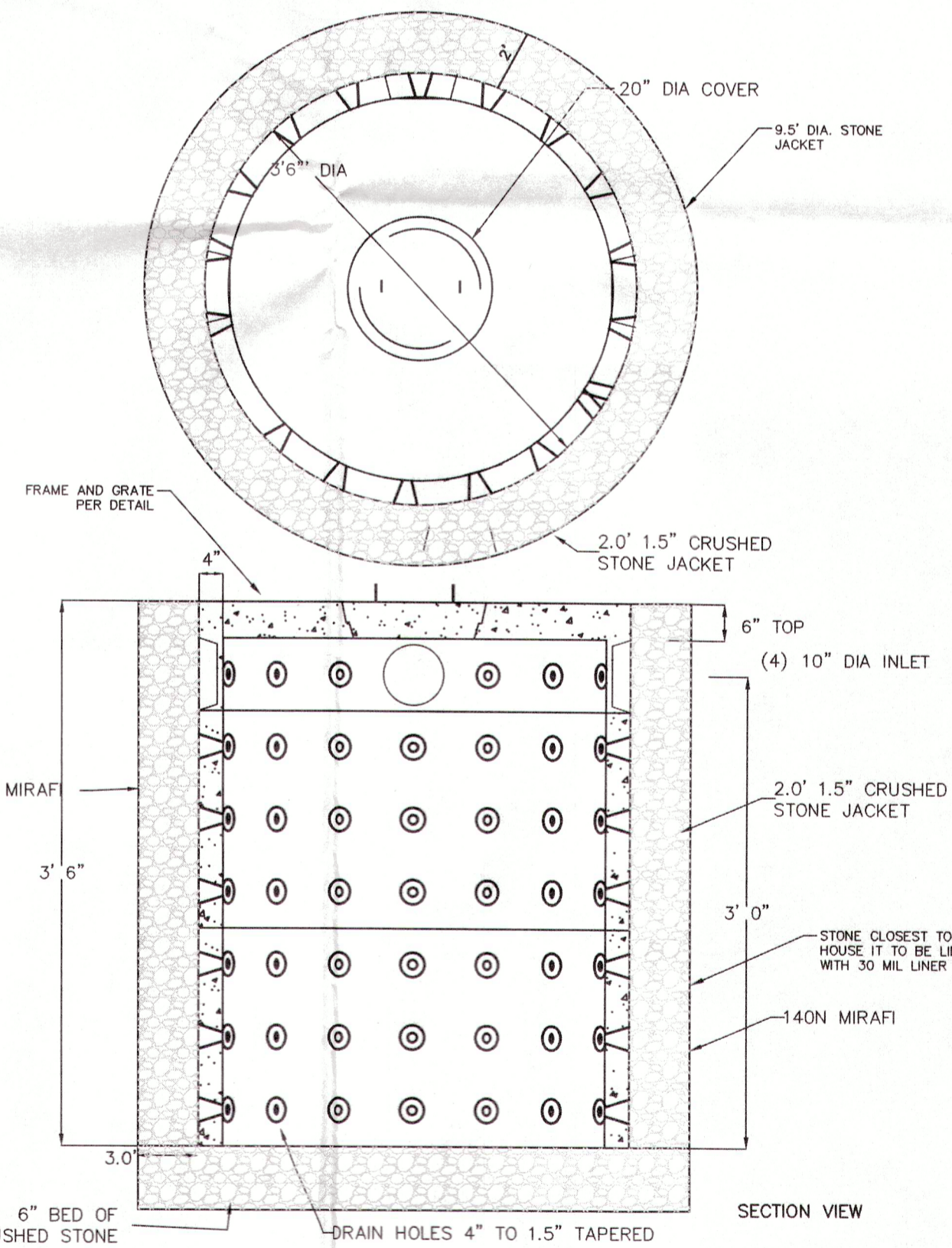


Table with 2 columns: ITEM NO., WEIGHT. Row 1: MDWH 3' SECTION W/COVER, 1,404#

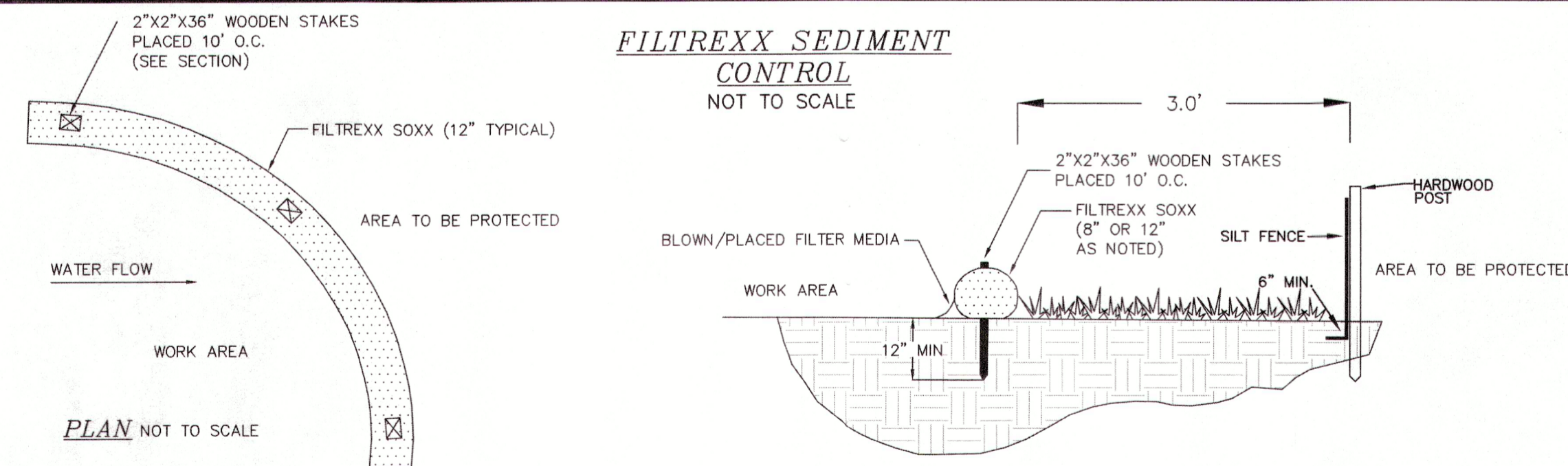
NOTES:

- 1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. ALSO AVAILABLE IN AASHTO HS-20 LOADING.
3. CAPACITY INCREASES IN INCREMENTS OF 500 GALLONS FOR EACH 3' SECTION ADDED.
4. MUST BE SHEA CONCRETE PRODUCT OR EQUAL.

E-101

E9

FILTREXX SEDIMENT CONTROL NOT TO SCALE



NOTES:

- 1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
2. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
4. SILT SOXX MAY BE USED IN PLACE OF SILT FENCE OR OTHER SEDIMENT BARRIERS.
5. SILT SOXX COMPOST/SOIL/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.
6. FILTREXX SOXX IS A REGISTERED TRADEMARK OF FILTREXX INTERNATIONAL, LLC.
7. SILT FENCE IS NOT A SUBSTITUTION FOR SILT SOXX AND ANY EQUAL SUBSTITUTION TO BE APPROVED.
8. TO BE CONSTRUCTED IAW FILTREXX, SECTION 1: EROSION & SEDIMENT CONTROL (PAGE 323) - CONSTRUCTION ACTIVITIES, SWPPP CUT SHEET: FILTREXX SEDIMENT CONTROL

Filtrex International, LLC SHEA 44044 440-926-2607 | fax: 440-926-4021 WWW.FILTREXX.COM OR APPROVED EQUAL

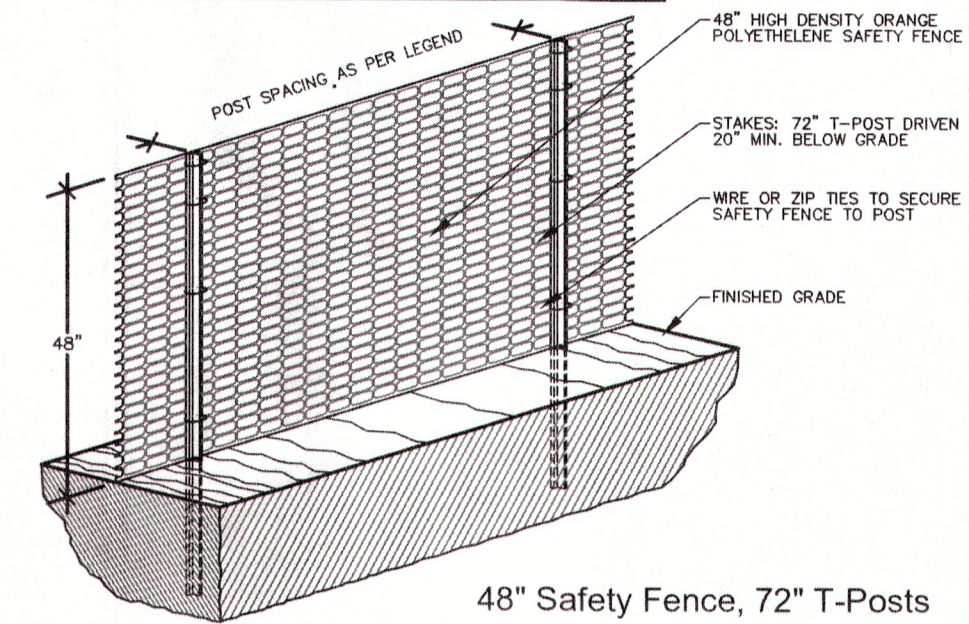
NOTE: FOR AREAS REQUIRING DOUBLE PERIMETER CONTROL WITHIN 50' OF JURISDICTIONAL WETLANDS AND NOT FOR ALL SILT SOXX APPLICATIONS. THIS DUPLICATION MAY BE SPECIFIED AS 12" SILT SOXX OR ORANGE CONSTRUCTION FENCE AS NOTED.

SECTION NOT TO SCALE

E5

CONSTRUCTION SAFETY FENCE NOT TO SCALE

Legend table with 2 columns: Item, Description. Rows: SAF12 48" ORANGE FENCE, 12 FEET O.C.; SAF11 48" ORANGE FENCE, 11 FEET O.C.; SAF10 48" ORANGE FENCE, 10 FEET O.C.; SAF9 48" ORANGE FENCE, 9 FEET O.C.; SAF8 48" ORANGE FENCE, 8 FEET O.C.; SAF7 48" ORANGE FENCE, 7 FEET O.C.; SAF6 48" ORANGE FENCE, 6 FEET O.C.

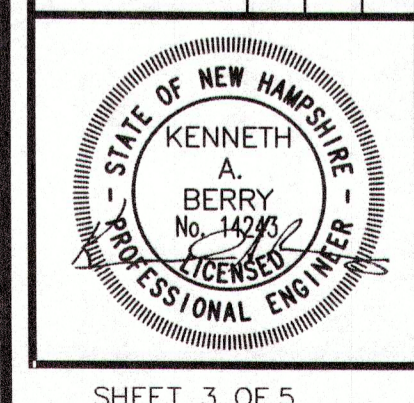


- 1. ALL SENSITIVE AREAS SHALL BE PROTECTED AS PER PLAN.
2. ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH HIGH VISIBILITY FENCE AS PER PLAN.
3. WHEN PRACTICABLE, INSTALL HIGH VISIBILITY 3 FEET OUTSIDE OF THE DRIP LINE OF THE TREE.
4. SAFETY FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.
5. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION; ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED.

Table with 2 columns: REVISION, DESCRIPTION. Header row: REVISION, DATE, DESCRIPTION.

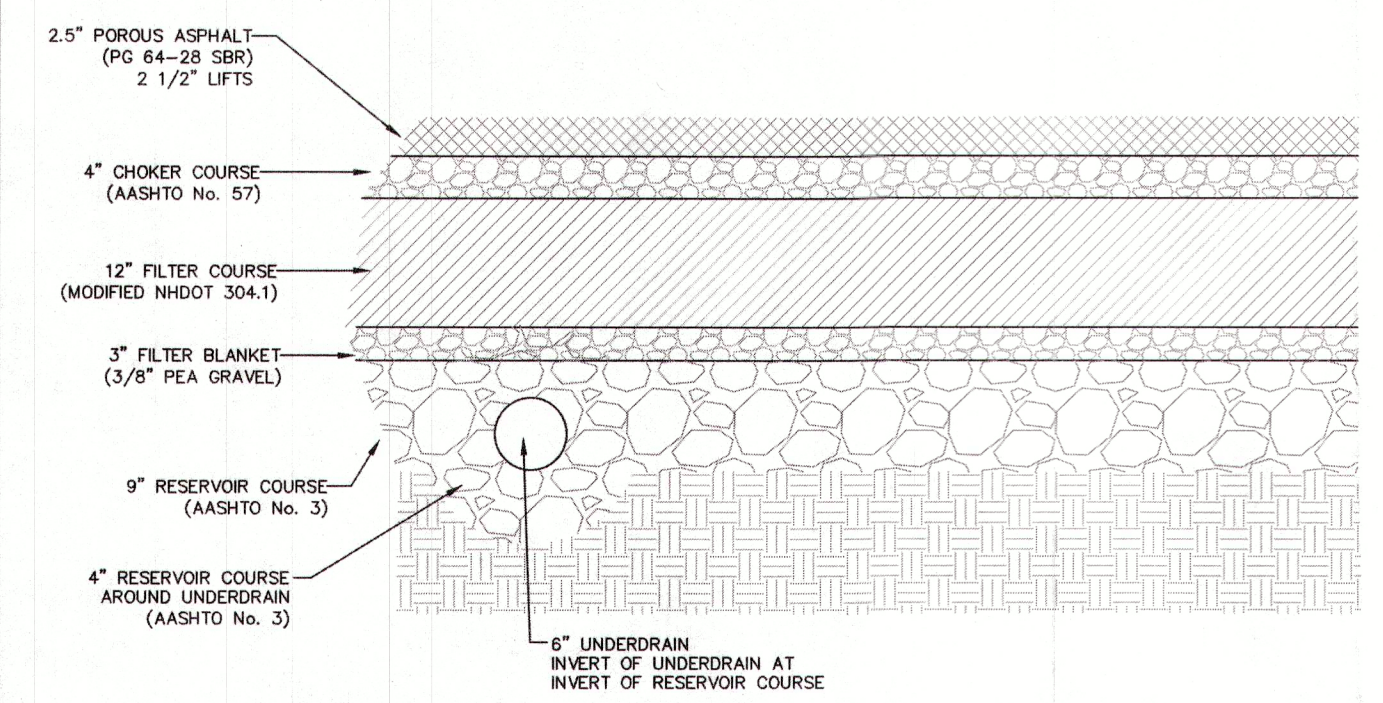
CONSTRUCTION DETAILS LAND OF MARI C. MCKAY REVOCABLE TRUST 122 PAUGUS PARK ROAD LACONIA, N.H. TAX MAP 287, BLOCK 178, LOT 7

BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT ROAD BARRINGTON, NH 03825 (603)332-2863 SCALE: 1 IN. = EQUALS 10 FT. DATE: SEPTEMBER 11, 2025 FILE NO.: DB 2024 - 143 SHEET 3 OF 5





C1



**POROUS ASPHALT PAVEMENT SECTION**  
NOT TO SCALE

- DESIGN NOTES:
- POROUS ASPHALT PAVEMENT WILL CONFORM TO UNHSC (2007b) SPECIFICATIONS AS UPDATED BY UNHSC DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS (DATED: SEPTEMBER 2016).
  - THE FILTER COURSE WILL BE INSTALLED AT A MINIMUM DEPTH OF 18 INCHES AND CONSIST OF NHDOT (2016) SAND, ITEM 304.1 PER THE NH STORMWATER MANUAL.
  - SEE CROSS SECTIONS FOR DETAILS.
  - SEE STORMWATER SYSTEM MANAGEMENT: INSPECTION AND MAINTENANCE MANUAL AND PLAN, DATED JULY 1, 2024 FOR MAINTENANCE REQUIREMENTS.

- REFERENCE:
- NH STORMWATER MANUAL: VOLUME 2, SECTION 4E PERMEABLE PAVEMENT.
  - UNHSC DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS, FEBRUARY 2014, REVISED SEPTEMBER 2016, UNIVERSITY OF NEW HAMPSHIRE STORMWATER CENTER, DURHAM, NH 03824-3534.
  - POROUS ASPHALT PAVEMENT FOR STORMWATER MANAGEMENT, THE UNH STORMWATER CENTER.

**POROUS PAVEMENT**  
TOTAL SECTION DEPTH = 30.5"  
FROST DEPTH = 48" (UNHSC)  
12" FILTER MEDIA PROVIDED

SEE GRADING PLANS & PROFILES FOR SPOT ELEVATIONS

| CHOKER COURSE * |                     |
|-----------------|---------------------|
| SIEVE SIZE      | % PASSING BY WEIGHT |
| 1 1/2"          | 100                 |
| 1"              | 95 - 100            |
| 1/2"            | 25 - 60             |
| # 4             | 0 - 10              |
| # 8             | 0 - 5               |

| FILTER COURSE * |                     |
|-----------------|---------------------|
| SIEVE SIZE      | % PASSING BY WEIGHT |
| 3/4"            | 100                 |
| 1/2"            | 70 - 100            |
| # 200           | 0 - 6**             |

| POROUS ASPHALT MIX DESIGN CRITERIA |                     |
|------------------------------------|---------------------|
| SIEVE SIZE                         | % PASSING BY WEIGHT |
| 3/4"                               | 100                 |
| 1/2"                               | 85 - 100            |
| 3/8"                               | 55 - 75             |
| # 4                                | 10 - 25             |
| # 8                                | 5 - 12              |
| # 200                              | 2 - 4               |

| FILTER BLANKET COURSE * |                     |
|-------------------------|---------------------|
| SIEVE SIZE              | % PASSING BY WEIGHT |
| 1 1/2"                  | 100                 |
| 3/8"                    | 95 - 100            |
| # 4                     | 22 - 55             |
| # 8                     | 0 - 10              |

| RESERVOIR COURSE * |                     |
|--------------------|---------------------|
| SIEVE SIZE         | % PASSING BY WEIGHT |
| 2 1/2"             | 100                 |
| 2"                 | 90 - 100            |
| 1 1/2"             | 35 - 70             |
| 1"                 | 0 - 15              |
| 1/2"               | 0 - 5               |

\* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

\*\* LESS THAN 4% FINES

BINDER CONTENT (AASHTO T164) 5.8 - 6.5%

AIR VOID CONTENT (AASHTO D6752) 16 - 22%

DRAINDOWN (AASHTO D6390) ≤ 0.3%

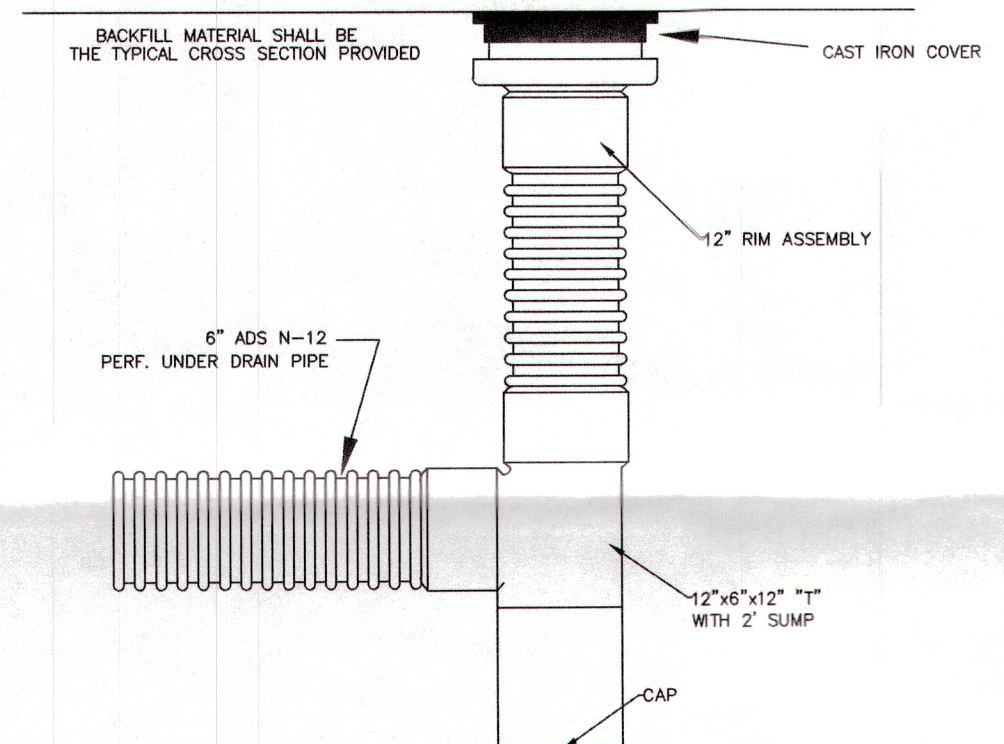
RETAINED TENSILE STRENGTH (AASHTO D6390) ≥ 80%

CANTABRO ABRASION ≤ 20% TEST (UNAGED)

CANTABRO ABRASION ≤ 30% TEST (7 DAYS)

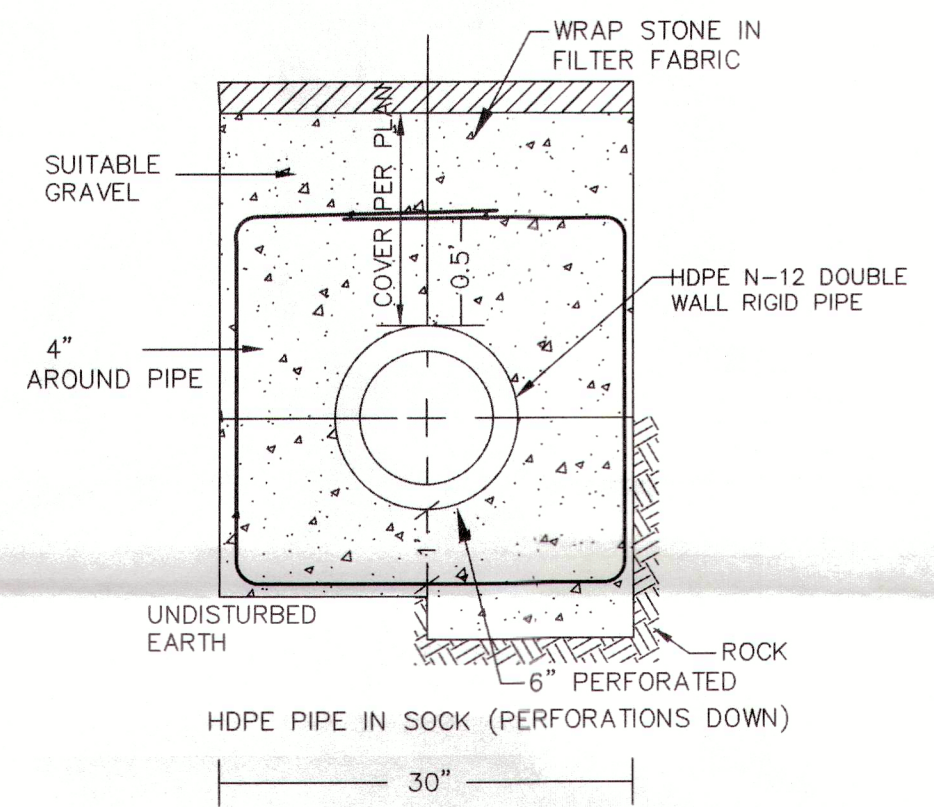
**POROUS ASPHALT PAVEMENT**  
NOT TO SCALE

C2



**ADS N-12, INLINE DRAIN/CLEANOUT**  
NOT TO SCALE USED FOR DOWNSPOUT CLEANOUTS

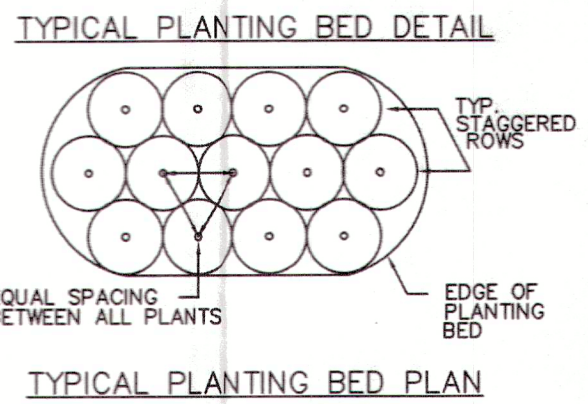
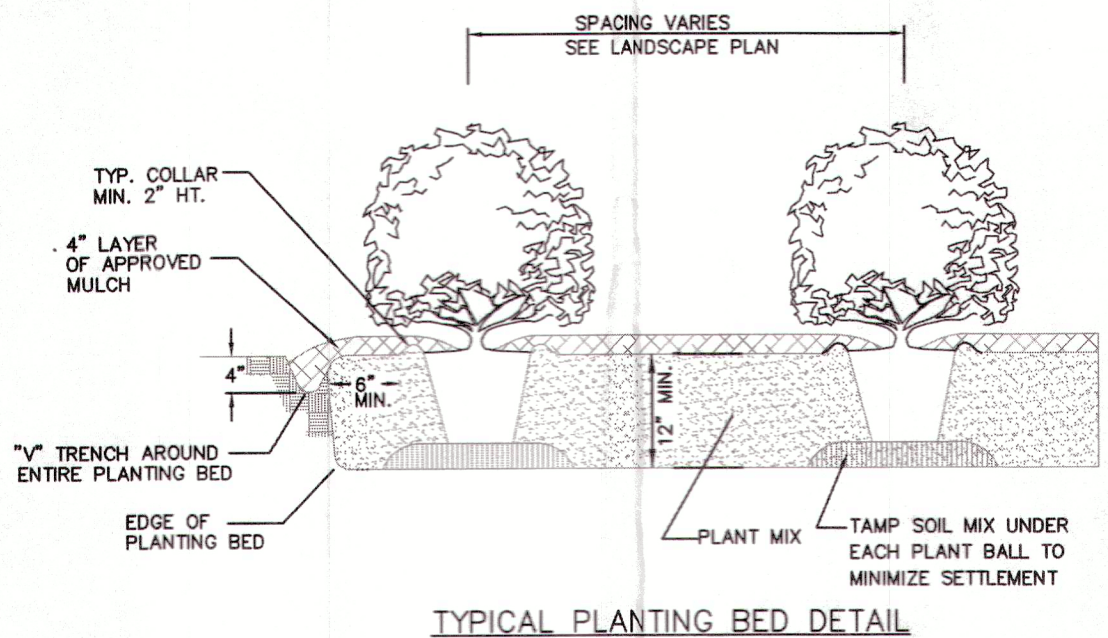
C3



**UNDERDRAIN TRENCH DETAIL**  
NOT TO SCALE

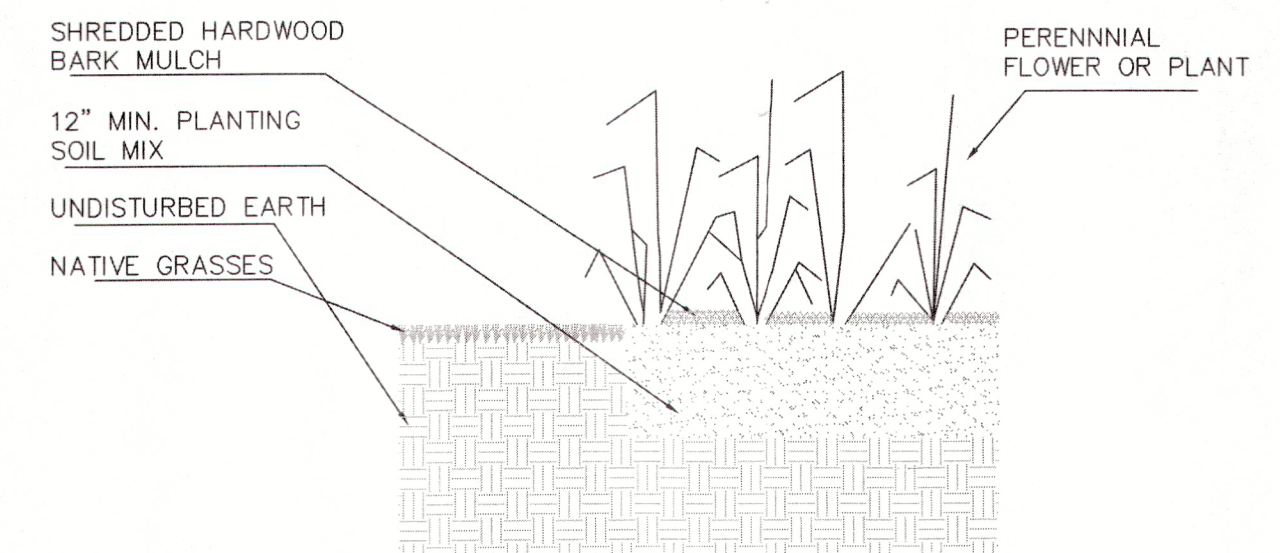
C4

- NOTES:
- SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
  - INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE.
  - TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
  - OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
  - SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.



**SHRUB & HEDGE PLANTING**

C5



**PERENNIAL PLANTING DETAIL**

| REVISION | DATE | DESCRIPTION |
|----------|------|-------------|
|          |      |             |

CONSTRUCTION DETAILS  
LAND OF  
MARIE C. MCKAY REVOCABLE TRUST  
122 PAUGUS PARK ROAD  
LACONIA, N.H.  
TAX MAP 287, BLOCK 178, LOT 7

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 10 FT.  
DATE : SEPTEMBER 11, 2025  
FILE NO. : DB 2024 - 143

